

**FOX TOWNSHIP'S GUIDE
FOR CONSTRUCTION & RENOVATIONS UNDER
THE UNIFORM CONSTRUCTION CODE**



Effective July 5, 2004

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Introduction

This booklet was prepared to help you submit the information necessary for Township Staff to process your Application for Building Plan Examination and Building Permit. Your project will be evaluated in terms of compliance with the Building, Plumbing, Mechanical, and Electrical Codes of Uniform Construction Code as adopted by Ordinance by Fox Township. The information presented in this booklet are not all inclusive of code requirements. They are intended only to highlight areas which often present difficulties for designers, contractors, and Township residents.

Upon issuance of the Building Permit, the Permit is required to be posted and visible from the Public Right-of-Way. The Permit approval requires compliance with all codes and ordinances which Fox Township has adopted.

One set of approved plans, specifications and permit amendments will be returned with the Permit. The approved set must remain on the job-site until the final Inspection and a Certificate of Use and Occupancy has been issued.

The permit applicant is responsible for making arrangements for inspections and insuring that the required inspections have been performed by a Township Code Official. When calling for required inspections, please provide the following information: Contractor Name, Project Location, Building Permit Number and Type of Inspection.

Please remember that structures may not be used or occupied until a Certificate of Occupancy has been issued by the Township.

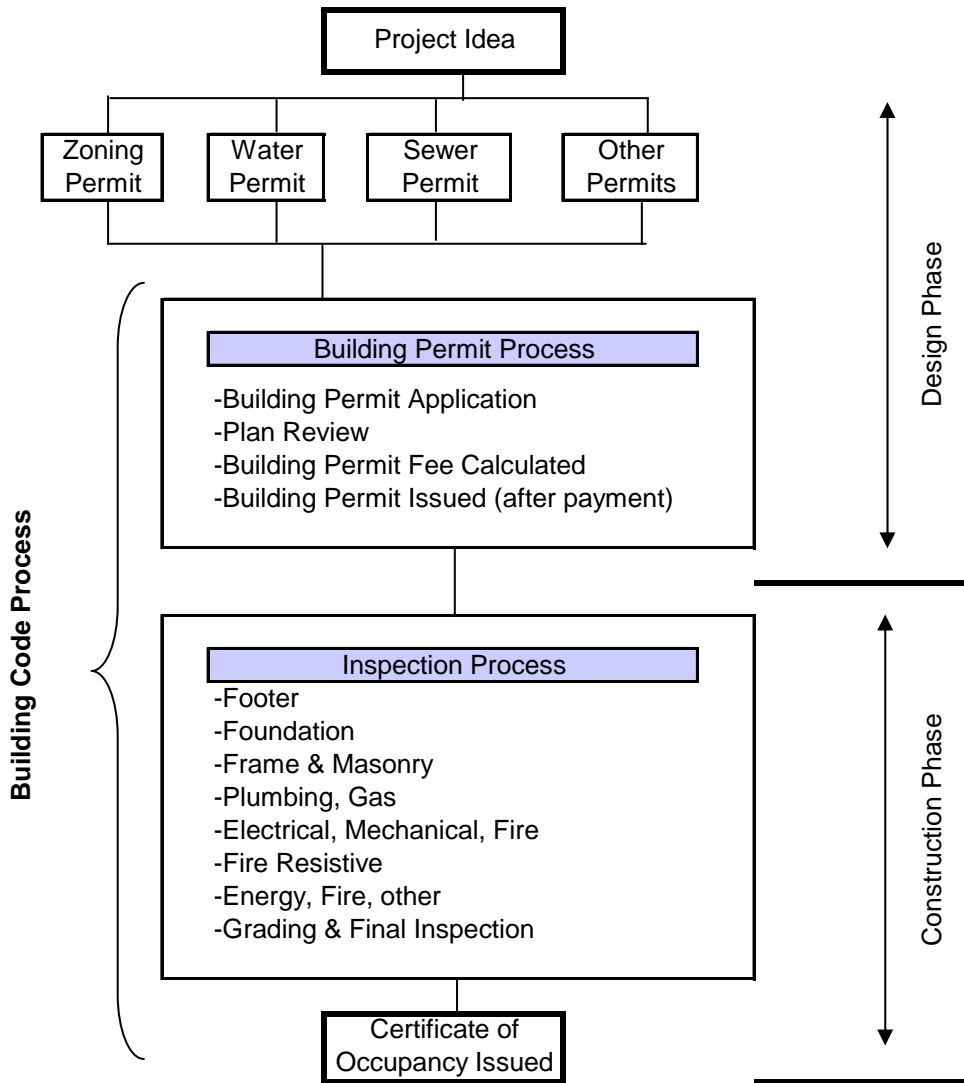
Should you have any questions concerning your project, please contact the Fox Township Office at 885-8450.

Fox Township Board of Supervisors

PO Box 184, 116 Irishtown Road

Kersey, PA 15846

THE BUILDING REGULATORY PROCESS



Requirements for Site Plan for All Permit Applications

- Site plan must be drawn to scale
- Graphic scale must be shown or noted on the plan
- Location of all Township boundaries if applicable
- Location of all property lines
- Location of all public street right-of-ways. Location of all public streets and sidewalks
- Location of all easements on the property, both public and private. Any lot which contains a recorded easement or right-of-way MUST have the following note on the site plan **"Nothing shall be placed, planted, set, or put within the area of the easement that would adversely affect the function of the easement or conflict with the easement agreement"**
- Location of all existing and proposed buildings and improvements (including all driveways, swimming pools, shed(s) and other outbuildings).
- Exact dimensions from all existing and proposed improvements to all property lines, including all driveways, swimming pools, shed(s) and other outbuildings. Additional information may be required for review

Information Required on Site Plan if Applicable -

- Location of an on lot sewage system
- Location of the 100 foot clear sight triangle for all corner lots. Any lot which contains a 100 foot clear sight triangle MUST have the following note written on the site plan **"Nothing shall be placed, planted, set, or put within the area of the 100 foot clear sight triangle that obscures motorist vision"**
- Location of the 100 year floodplain and the 100 year floodplain elevation. Any lot which contains a 100 year floodplain MUST contain the following note **"Any proposed improvements to be located within the 100 year floodplain shall be in accordance with the Floodplain Management Provisions of the Fox Township Subdivision and land Development Ordinance"**
- The lowest floor, including the basement, of any new or substantially improved residential structure shall be elevated to a minimum of one (1) foot above the 100 year floodplain elevation
- The lowest floor elevation for lots with a floodplain must be noted on the site plan
- The boundaries of the 100 year floodplain must be field staked prior to any on site construction
- Location of all wetland areas
- All variances and special exceptions must be noted on the site plan, including case number and approved date

See the following pages for construction plan submittal requirements for both residential and commercial projects.

SINGLE FAMILY PLAN SUBMITTAL REQUIREMENTS

As required by Fox Township

New construction projects will require the following:

- Building Permit Application
- Sewer or septic permit
- Site plan or provide setbacks. (Be sure to include all structures on the property)
- Three full sets of plans. (Must be in ink and drawn to scale)

The following items, views and details shall appear on all plans:

1. Elevation of all sides, including indication of final grade.
2. Plan with overview of each floor level, with all rooms and spaces labeled and all sizes indicated.
3. Cross-section view of structure.
4. Ceiling heights of all floors, including basement.
5. Window Schedule: including manufacturer, locations with corresponding numbers.
Note: Bathrooms without a window require fan/light.
6. Heat-loss/gain calculations. Indicate heat system and equipment locations.
7. Water closet, lavatory, tub or shower in compartment with privacy. Show clearances or dimensions between fixtures.
8. Safety glazing in hazardous locations (example: walls of tubs and showers, within two feet of doors, etc.).
9. Skylights.
10. 1-3/8" solid wood, 20-minute fire-rated doors or equivalent between garage and residence.
11. Openings from garage directly into a room used for sleeping purposes shall not be permitted.
12. A 1/2" of gypsum separation between the garage and dwelling.
13. 3' 0" x 6' 8" exit door.
14. Exit access or hallways 3' min.
15. Landings (min. 3' x 3')
16. Stairway details: Minimum width is 3'; Maximum stair rise is 8 1/4"; Minimum tread depth is 9" with 3/4" to 1-1/4" nosing; Minimum headroom is 6' 8".
17. Stairway illumination (including exterior stairs).
18. Handrail details: required at stairs with three or more risers, 34"-38" above the leading edge of step nosing. The handgrip portion of the handrails shall not be more than 2-5/8" in cross-sectional dimension, or the shape shall provide equivalent gripping surface.
19. Guardrail details: Required for porches, balconies, open sides of stairs, or raised floor surfaces greater than 30" above floor or grade below; Minimum 36" above finished floor at horizontal locations; Minimum 34" above the leading edge of nosing measured vertically at stairs; Opening limitations = < 4" and < 6" at triangle formed by the rise and run of stairs and bottom of guardrail.
20. Smoke detectors: Locations (one on each floor, one in each sleeping room and in the vicinity of each sleeping room); Interconnected and hardwired with battery back-up provided.
21. Vapor barrier on warm-in winter side of exterior walls.
22. Termite protection. (Example: cap block and pressure treated plate).
23. Footing: Depth; Size (Width and thickness); Include piers, columns and decks.
24. Foundations:
 - a) Composition.
 - b) Means of complying with unbalanced fill heights
 - c) Damp proofing (Example: parging and tarring)
 - d) Waterproofing: (Waterproofing is required wherever habitable space is located below grade). Product specifications shall be submitted for approval.
 - e) Sill plate to be minimum width of walls above

- f) Anchor bolts in concrete or masonry to be 1/2" diameter bolts at 6' 0" on center and within 12" from any corner. 7" embedment required.
- 25. Size, location and composition of all columns. A minimum of 4" square wood or minimum 3" diameter steel.
- 26. Crawl space:
 - a) Vents required within 3' of each corner.
 - b) Access opening = 18" x 24".
 - c) Minimum 18" clearance from finished grade to floor framing.
- 27. Species and grade of all framing lumber. (Example: SPF #2 or better).
- 28. Size, spacing and direction of floor joists.
- 29. Beams sizes and supports.
- 30. Joists under bearing partitions.
- 31. Framing of all openings in floors and roof.
- 32. Floor sheathing composition, grade and thickness.
- 33. Concrete floors:
 - a) Thickness is Minimum of 3-1/2".
 - b) Strength to be 2,500 PSI min. in basement- 3,500 PSI min. in garage.
 - c) Base course to be 4" thick consisting of clean graded sand, gravel, crushed stone or crushed blast furnace slag passing a 2" sieve
 - d) Vapor barrier (Including attached garages)
 - e) Radon piping shall be placed under basement floor.
- 34. Interior and exterior wall stud sizes, grade and spacing.
- 35. All headers: composition, location and sizes.
- 36. FHA or solid masonry at top course of change in thickness of masonry. (Example: brick ledge).
- 37. Interior wall covering. (Example: 1/2" gypsum).
- 38. Exterior wall covering (paper if required) (example: vinyl, brick, wood, etc.)
- 39. Roof framing:
 - a) Size, spacing, and direction of all rafters.
 - b) Size, spacing and direction of all ceiling joists.
 - c) If trusses, add note to plans: truss specification sheets and layout/placement diagram shall be on site at time of rough framing inspection
 - d) Pitch of all roofs.
- 40. Roof sheathing: Composition, Grade, Thickness, Blocking or "H" clips.
- 41. Attic ventilation. (Example: Ridge vent and vented soffit).
- 42. Attic access for any roof space greater than 30". Minimum opening is 22" x 30"
- 43. Roof covering, including felt paper if required. (Example: fiberglass, slate, metal, etc.)
- 44. Chimneys and fireplaces:
 - a) Locations
 - b) Masonry or factory built,
 - c) Footing size and thickness (If applicable).

This document has been developed to aid you in the plan review process. It is very beneficial to the permit applicant to include as much information as possible when submitting plans for your building project.

NOTE: YOU CANNOT SUPPLY THIS OUTLINE AS A PLAN DOCUMENT.

ONE AND TWO FAMILY DWELLING DECK GUIDE

AS REQUIRED BY FOX TOWNSHIP

This guide has been prepared to assist you in planning your deck construction. Submitting the necessary information, is required by the Building Department, will help in the Plan Review Process and will assure a quicker issuance of your Building Permit. The quality and safety of the construction of your deck is evaluated by the Building Department for your benefit.

The following items must be submitted with your Original Application for Building Permit.

1. Submit a copy of Plot Plan showing the location of the Proposed Deck or unenclosed Porch or scaled drawing showing set-backs.
2. Two Complete sets of plan drawings of proposed work, drawn to scale.
 - a. Drawings must be in ink.
 - b. Standard size paper 8 1/2"x 11" is acceptable
 - c. Copies are acceptable.

The following items should be included on the Building Plan Drawings.

1. Building setback dimensions.
2. Top, front and side views of deck.
3. Size, thickness and depth (below grade) of footings.
4. Size, type and spacing of support columns.
5. Type of wood to be used. (Specify species and grade)
6. Size of floor joist, span and distance between joists.
7. Size, type and span of all girder beams.
8. Height of wood joist, girder and floor above finish grade.
9. Type and thickness of floor sheathing. (Decking)
10. Height of stair risers and depth/width of tread.
11. Height of handrail and ballister spacing.
12. Height of guardrail and ballister spacing.
13. Ledger that joists are to be fastened to, bolt spacing and flashing. (Where needed)

NOTE: The Building Permit Application must be the Original.

Building Plan Requirements for Commercial Projects

As required by Fox Township

The following items are required for new commercial projects. Drawings should be drawn to 1/4" or 1/8" scale and shall provide the necessary information to verify compliance with the building code.

All drawings shall bear the stamp and signature of the design professional responsible for the design.

Three (3) sets of construction drawings shall be submitted and shall include:

Title Page Drawings; to include the contact information for all design professionals, description of square footage per floor, number of floors, type of construction to be utilized, area modifications utilized, use group classification(s), separation or non-separation of mixed use groups, design occupant load(s), finish materials classification, design codes utilized.

Site Plan Drawings; to include all utility layouts, handicap parking & access, designated fire lanes, distance between adjacent structures and property lines.

Floor Plan Drawings; to include the use of all areas, location & types of fire resistant construction, U.L. Listing of fire resistant construction, means of egress components, handicap access.

Structural Drawings; to include the structural design calculations, geo-technical engineering report, uniform live loads, dead loads, roof & snow loads, wind loads, footing construction detail, foundation construction details, framing construction details, concrete construction details, masonry construction details, wood construction details, steel construction details.

Electrical Drawings; to include all lighting facilities, electrically operated equipment, and electrical circuits required for all service equipment of the building or structure. Drawings should include panel schedules, grounding systems, and wiring methods.

Mechanical Drawings; to include size & type of appliances, construction of flues and chimney systems, ventilation air provided, fresh air make-up provided, location of all ducting and piping.

Plumbing Drawings; to include a plan view and a riser diagram of waste & water piping, pipe sizing, grade of piping, drainage fixture unit loads on stacks and drains, water distribution design criteria.

Fire Protection Systems; to include the submittal guide for each type of system See specific submittal guide requirements.

Permit Requirements and Exemptions.

- (a) Application. The Uniform Construction Code applies to the construction, alteration, repair, movement, equipment, removal, demolition, location, maintenance, occupancy or change of occupancy of every building or structure which occurs on or after April 9, 2004 (July 5, 2004 in Fox Township), and all existing structures that are not legally occupied.
- (b) Exclusions. The Uniform Construction Code does not apply to:
- (1) New buildings or renovations to existing buildings for which an application for a permit was made to the municipality before July 5, 2004.
 - (2) New buildings or renovations to existing buildings on which a contract for design or construction was signed before July 5, 2004.
 - (3) The following structures if the structure has a building area less than 500 square feet and is accessory to a detached one-family dwelling:
 - (i) Carports.
 - (ii) Detached private garages.
 - (iii) Greenhouses.
 - (iv) Sheds.
 - (4) An agricultural building defined under section 103 of the act (35 P. S. § 7210.103).
 - (5) Manufactured or industrialized housing shipped from the factory under section 901 (a) of the act (35 P. S. § 7210.901 (a)) as provided in § 403.25 (relating to manufactured and industrialized housing). NOTE: This applies to the manufactured structure only. Any on-site construction such as the construction of a foundation will require a permit.
 - (6) Installation of tubing, piping, propane gas burning appliances, equipment or fixtures related to liquefied petroleum gas under the Propane and Liquefied Petroleum Gas Act (35 P. S. §§ 1329.1--1329.19).
 - (7) Construction of individual sewage disposal systems under 25 Pa. Code Chapter 73 (relating to onlot sewage treatment facilities).

Other Permit requirements and exemptions.

- (a) An owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a commercial building, structure and facility or to erect, install, enlarge,-alter, repair, remove, convert or replace any electrical, gas, mechanical, or plumbing system regulated by the Uniform Construction Code shall first apply to the building code official and obtain the required permit under § 403.42a (relating to permit application).
- (b) Emergency repairs or replacement of equipment may be made without first applying for permit if a permit application is submitted to the building code official within 3 business days of the repair or replacement.

(c) A permit is not required for the following construction as long as the work does not violate a law or ordinance:

(1) Building construction for the following:

- (i) Fences that are not over 6 feet high.
- (ii) Oil derricks.
- (iii) Retaining walls, which are not over 4 feet in height measured from the lowest level of grade to the top of the wall, unless it is supporting a surcharge or impounding Class I, II or III-A liquids.
- (iv) Water tanks supported directly upon grade if the capacity does not exceed 5,000 gallons and the ratio of height to diameter or width does not exceed 2 to 1.
- (v) Sidewalks and driveways not more than 30 inches above grade and that are not located over a basement or story below it and which are not part of an accessible route.
- (vi) Painting, papering, tiling, carpeting, cabinets, counter tops and similar finishing work.
- (vii) Temporary motion picture, television, and theater stage sets and scenery.
- (viii) Prefabricated swimming pools accessory to a Group R-3 occupancy which are less than 24 inches deep, do not exceed 5,000 gallons and are installed entirely aboveground.
- (ix) Shade cloth structures constructed for nursery or agricultural purposes that do not include service systems.
- (x) Swings and other playground equipment accessory to one- or two family dwellings.
- (xi) Window awnings supported by an exterior wall which do not project more than 54 inches from the exterior wall and do not require additional support of group R-3 as applicable in the "International Building Code," and Group U occupancies.
- (xii) Movable cases, counters and partitions that are not over 5 feet 9 inches in height.
- (xiii) Window replacement without structural change.

(2) Electrical work for the following:

- (i) Minor repair and maintenance work that includes the replacement of lamps or the connection of approved portable electrical equipment to approved permanently installed receptacles.
- (ii) Electrical equipment used for radio and television transmissions. The provisions of the Uniform Construction Code apply to equipment and wiring for power supply and the installation of towers and antennas.
- (iii) The installation of a temporary system for the testing or servicing of electrical equipment or apparatus.

(3) The following gas work:

- (i) A portable heating appliance.
- (ii) Replacement of a minor part that does not alter approval of equipment or make the equipment unsafe.

(4) The following mechanical work or equipment:

- (i) A portable heating appliance.
- (ii) Portable ventilation equipment.

- (iii) A portable cooling unit.
- (iv) Steam, hot or chilled water piping within any heating or cooling equipment governed under the Uniform Construction Code.
- (v) Replacement of any part that does not alter its approval or make it unsafe.
- (vi) A portable evaporative cooler.
- (vii) A self-contained refrigeration system containing 10 pounds or less of refrigerant placed into action by motors that are not more than 1 horsepower.

5) The following plumbing repairs:

- (i) Stopping leaks in a drain and a water, soil, waste or vent pipe. The Uniform Construction Code applies if a concealed trap, drainpipe, water, soil, waste or vent pipe becomes defective and is removed and replaced with new material.
- (ii) Clearing stoppages or repairing leaks in pipes, valves or fixtures, and the removal and installation of water closets, faucets and lavatories if the valves or pipes are not replaced or rearranged.

(d) An ordinary repair does not require a permit. The following are not ordinary repairs:

- (1) Cutting away a wall, partition or portion of a wall.
- (2) The removal or cutting of any structural beam or load-bearing support.
- (3) The removal or change of any required means of egress, or rearrangement of parts of a structure affecting the egress requirements.
- (4) The addition to, alteration of, replacement or relocation of any standpipe, water supply, sewer, drainage, drain leader, gas, soil, waste, vent or similar piping, electric wiring or mechanical.

(e) A permit is not required for the installation, alteration or repair of generation, transmission, distribution, metering or other related equipment that is, by established right, under the ownership and control of a public utility as the term "public utility" is defined in 66 Pa.C.S. § 102 (relating to definitions).

(f) A building code official may issue an annual permit instead of an individual permit for each alteration to an already approved electrical, gas, mechanical or plumbing installation. All of the following are required:

- (1) The applicant shall regularly employ at least one qualified trades person in the building or structure owned or operated by the applicant.
- (2) The applicant shall submit an application in accordance with § 403.42a(m).
- (3) An annual permit holder shall keep detailed records of alterations made in accordance with the annual permit. The permit holder shall provide access to these records to the building code official.

BUILDING PERMIT FEE SCHEDULE

PROCEDURE FOR DETERMINING BUILDING PERMIT FEES

Effective July 5, 2004, building permit fees for projects in Fox Township will be established as follows:

If a building project is **all new construction**, then the Permit Fee is calculated as follows:

$$\begin{array}{ccccccc}
 \mathbf{70} & \mathbf{x} & \mathbf{\text{Type of Construction Factor}} & \mathbf{x} & \mathbf{\text{Square footage}} & \mathbf{x} & \mathbf{.0075} \\
 \text{Gross} & & \text{From} & & \text{Total} & & \text{Permit} \\
 \text{Area} & & \text{Table} & & \text{Square} & & \text{Fee} \\
 \text{Modifier} & & \text{Below} & & \text{Footage} & & \text{Multiplier*} \\
 \text{For Fox Twp.} & & & & & &
 \end{array}$$

Type of Construction

Use Group	1996 BOCA National Building Code	1A	1B	2A	2B	2C	3A	3B	4	5A	5B
A-1	Assembly, theaters with stage	1.79	1.77	1.71	1.67	1.59	1.50	1.49	1.55	1.39	1.35
A-1	Assembly, theaters without stage	1.63	1.60	1.55	1.51	1.43	1.33	1.33	1.39	1.23	1.19
A-2	Assembly, night clubs	1.27	1.25	1.21	1.18	1.11	1.04	1.03	1.08	0.94	0.91
A-3	Assembly, restaurants	1.26	1.23	1.20	1.15	1.10	1.01	1.02	1.06	0.91	0.90
A-4	Assembly, churches	1.60	1.57	1.52	1.48	1.40	1.31	1.30	1.36	1.20	1.16
B	Business	1.20	1.17	1.13	1.09	1.02	0.90	0.91	0.98	0.80	0.77
E	Educational	1.29	1.26	1.21	1.17	1.11	1.01	0.99	1.05	0.89	0.86
F-1	Factory and industrial, moderate hazard	0.78	0.75	0.71	0.66	0.63	0.54	0.56	0.61	0.46	0.44
F-2	Factory and industrial, low hazard	0.76	0.74	0.70	0.66	0.63	0.54	0.56	0.61	0.46	0.44
H	High hazard	0.75	0.72	0.69	0.65	0.61	0.53	0.53	0.58	0.45	0.41
I-1	Institutional, supervised environment	1.22	1.19	1.15	1.12	1.06	0.97	0.97	1.05	0.88	0.85
I-2	Institutional, incapacitated	1.75	1.72	1.67	1.63	1.56	1.45	NP	1.52	1.34	NP
I-3	Institutional, restrained	1.44	1.41	1.37	1.34	1.28	1.20	1.19	1.24	1.12	NP
M	Mercantile	0.98	0.96	0.92	0.87	0.82	0.73	0.74	0.78	0.64	0.62
R-1	Residential, hotels/motels	1.31	1.29	1.24	1.21	1.15	1.06	1.06	1.14	0.98	0.94
R-2	Residential, multiply family	1.11	1.09	1.04	1.01	0.95	0.87	0.87	0.94	0.78	0.75
R-3	Residential, one and two family	0.92	0.90	0.87	0.85	0.81	0.77	0.76	0.78	0.71	0.66
S-1	Storage, moderate hazard	0.74	0.71	0.67	0.62	0.59	0.50	0.52	0.57	0.42	0.40
S-2	Storage, low hazard	0.72	0.69	0.66	0.62	0.58	0.50	0.50	0.55	0.42	0.38

Note (1) R-3 garages = 0.30 cost for building inspection only

Note (2) unfinished basements (all use groups) - no charge

Note (3) Finished basements (all use groups) = 0.40

Note (4) For H-1 through H-4 (1996 BNBC), use H values

Note (5) NP = Not Permitted

Note (6) Modular and Mobile Homes (R3 Use Group, 5B Construction) calculated permit fee X .65 = actual fee

Note (7) Fees for additions include inspection of fixtures only; no service charge fees are included.

Note (8) Shed inspections are \$25.00

*Fees adjusted to nearest dollar

Types of Construction

- 1 & 2** Building elements are non-combustible
- 3** Exterior walls are non-combustible, interior walls are any material permitted by the code
- 4** Exterior walls are non-combustible, interior walls are solid or laminated wood without concealed spaces
- 5** Exterior and interior walls are any materials permitted by this code.
- A** Roof coverings are effective against high fire-test exposure:
examples: brick, masonry, slate, clay or concrete roof deck, ferrous or copper shingles
- B** Roof coverings are effective against moderate fire-test exposure:
examples: metal sheets, shingles
- C** Roof coverings are effective against light fire-test exposure

Note: Most residential construction is type 5B

Alterations, Renovations, Repairs & Minor Work: The permit fee includes plan review and all building inspections. This permit fee also includes one re-inspection. Additional fees will be charged for each additional re-inspection.

Contracts* over \$1,000.00: \$60.00 for the first \$1,000 of work
\$ 5.00 per \$1,000 of work thereafter

Contracts* under \$1,000.00: \$30.00 flat fee

** A copy of the actual contract must be provided. A Means Book will be referenced for do-it-yourself projects.*

All other disciplined inspections are figured on individual fee schedules.

Plumbing/Mechanical Equipment Fixtures and Devices

All fixtures, appliances (future and current), fuel gas and oil piping (per connected device). Including, but not limited to, water closet, urinal/bidet, bath tub, lavatory, shower, floor drain, sink, dishwasher, drinking fountain, washing machine, hose bibb, water heater, non-testable backflow preventer or trap primer.....\$10.00 per fixture.

Grease traps, oil separators, (testable type) back-flow preventers, sewer pump, interceptors, water cooled air conditioners, refrigeration units, utility service (water and sewer) connections, steam boilers, hot water boilers, active solar systems, hot air furnaces, etc. \$65.00 per unit

Periodic Inspections

Cross connections and back-flow preventers that are subject to testing, required every three (3) months \$45.00 per inspection.

For each such device when tested three (3) times annually and each device when broken down and tested \$115.00 once annually.

Check with the Building Official for fees of any services, equipment, or fixture not listed above

Fox Township Board of Supervisors

PO Box 184
116 Irishtown Road
Kersey, PA 15846

Building Permit No.

APPLICATION FOR BUILDING PERMIT

APPLICATION REQUIREMENTS: Documents to be submitted with an application for -

NEW SINGLE FAMILY BUILDINGS - Water and Sewer Permits [Zoning Permit] and **three (3)** Sets of Plans
 NEW COMMERCIAL BUILDINGS - Water and Sewer Permits [Zoning Permit] and **three (3)** Sets of Plans
 BUILDING ADDITIONS - **Two (2)** sets of Plans, [Zoning Permit] and May Need Water and/or Sewer Permits
 OTHER WORK - **Two (2)** Sets of Plans and May need Zoning, Water and Sewer Permits

LOCATION OF PROPOSED WORK OR IMPROVEMENT

Number and Street _____
 Tax Parcel No _____
 Directions _____

TYPE AND COST OF WORK OR IMPROVEMENT

<p>Type of Improvement</p> <p><input type="checkbox"/> New Building</p> <p><input type="checkbox"/> Addition</p> <p><input type="checkbox"/> Alteration</p> <p><input type="checkbox"/> Repair, Replacement</p> <p><input type="checkbox"/> Electrical (only)</p> <p><input type="checkbox"/> Plumbing (only)</p> <p><input type="checkbox"/> Foundation (only)</p> <p><input type="checkbox"/> Change of Use</p>	<p>Describe Work:</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>
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<p>Declared Cost (Omit Cents)</p> <p>\$ _____</p>	<p>Description of Building Use</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p><u>RESIDENTIAL</u></p> <p><input type="checkbox"/> One-Family Dwelling (R-3)</p> <p><input type="checkbox"/> Two-Family Dwelling (R-3)</p> <p><input type="checkbox"/> OTHER Residential</p> </td> <td style="width: 50%; vertical-align: top;"> <p><u>NON-RESIDENTIAL</u></p> <p>Specific Use: _____</p> <p>Use Group: _____</p> <p>Change in Use: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> </td> </tr> </table>	<p><u>RESIDENTIAL</u></p> <p><input type="checkbox"/> One-Family Dwelling (R-3)</p> <p><input type="checkbox"/> Two-Family Dwelling (R-3)</p> <p><input type="checkbox"/> OTHER Residential</p>	<p><u>NON-RESIDENTIAL</u></p> <p>Specific Use: _____</p> <p>Use Group: _____</p> <p>Change in Use: <input type="checkbox"/> YES <input type="checkbox"/> NO</p>
<p><u>RESIDENTIAL</u></p> <p><input type="checkbox"/> One-Family Dwelling (R-3)</p> <p><input type="checkbox"/> Two-Family Dwelling (R-3)</p> <p><input type="checkbox"/> OTHER Residential</p>	<p><u>NON-RESIDENTIAL</u></p> <p>Specific Use: _____</p> <p>Use Group: _____</p> <p>Change in Use: <input type="checkbox"/> YES <input type="checkbox"/> NO</p>		

<p>Water Service <input type="checkbox"/> Public</p> <p> <input type="checkbox"/> Private</p> <p>Sewer Service <input type="checkbox"/> Public</p> <p> <input type="checkbox"/> Private</p> <p>(Septic Permit # _____)</p> <p>Mechanical <i>Indicate Type of HVAC:</i></p> <p> <i>(electric, gas, oil, etc.)</i></p> <p>_____</p>	<p><i>Number of Units</i></p> <p>_____ Existing If YES, Indicate Former _____</p> <p>_____ Proposed Max. Occupancy Load _____</p> <p> Maximum Live Load _____</p>
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	<p>Does or will your building contain any of the following:</p> <p>Fireplace(s) Number: _____ Type of Fuel: _____</p> <p> Type Vent _____</p> <p>Elevator/Escalator/Lifts <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Sprinkler System <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Pressure Vessels <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Refrigeration Systems <input type="checkbox"/> YES <input type="checkbox"/> NO</p>
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IDENTIFICATION

	Name	Mailing Address - number, street, city, state & zip	Phone No.
Owner			
Contractor			
Architect			

BUILDING DIMENSIONS

Existing Building Area _____ sq. ft.
Proposed Building Area _____ sq. ft.
Total Building Area (all floors) _____ sq. ft.

Number of Stories _____
Height of Structure Above Grade _____ ft.
Area of the Largest Floor _____ sq. ft.

Lot Square Footage _____

Set Backs	Required	Provided	Met?
North			
East			
South			
West			

Driveway Permit Information

Applied for Issued on _____ NA

FLOODPLAIN

Is the site located within an identified flood hazard area? YES NO
Will any portion of the flood hazard area be developed? YES NO

Owner/Agent shall verify that any proposed construction and/or development activity complies with the requirements of the National Flood Insurance Program and the Pennsylvania Flood Plain Management Act (Act 166-1978), specifically *Section 60.3*

Lowest Floor Level: _____

AFFIDAVIT

The applicant certifies that all information on the application is correct and the work will be completed in accordance with the "approved" construction documents and PA Act 45 (Uniform Construction Code) and any additional approved building code requirem

Application for a permit shall be made by the *owner* or lessee of the building or structure, or *agent* of either, or by the *registered design professional* employed in connection with the proposed work.

I certify that the code administrator's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Signature of Owner or Authorized Agent

Print Name of Owner or Authorized Agent

Address

Date of Application

(FOR CODE ADMINISTRATOR USE ONLY)

PROJECT DOCUMENTS (DRAWINGS & CALCULATIONS)

Type of Document	Submitted		Signed & Sealed		Date	Revision Date
Foundation Plans	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____	_____
Construction Drawings	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____	_____
Electrical Drawings	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____	_____
Mechanical Drawings	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____	_____
Plumbing Drawings	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____	_____
Specifications	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____	_____
Flood Hazard Area Data	<input type="checkbox"/> Yes	<input type="checkbox"/> No				
Workers Comp Certificate	<input type="checkbox"/> Yes	<input type="checkbox"/> No				

BUILDING PERMIT

BUILDING PERMIT DENIED	Date _____	Date Returned _____
BUILDING PERMIT APPROVED	Date _____	
By: (Township Inspector) _____		
BUILDING PERMIT FEE	\$ _____	RECEIPT # _____
PLUMBING PERMIT (if appl.)	\$ _____	RECEIPT # _____
MECHANICAL PERMIT (if appl.)	\$ _____	RECEIPT # _____
ELECTRICAL PERMIT (if appl.)	\$ _____	RECEIPT # _____
BUILDING PERMIT ISSUED	Date _____	Expires _____ Permit # _____
By: (Township Code Administrator) _____		

OCCUPANCY PERMIT

Date Approved _____
By: (Township Inspector) _____
Date Issued _____
By: (Township Code Administrator) _____